

Assessors' ID: 141-41-14A

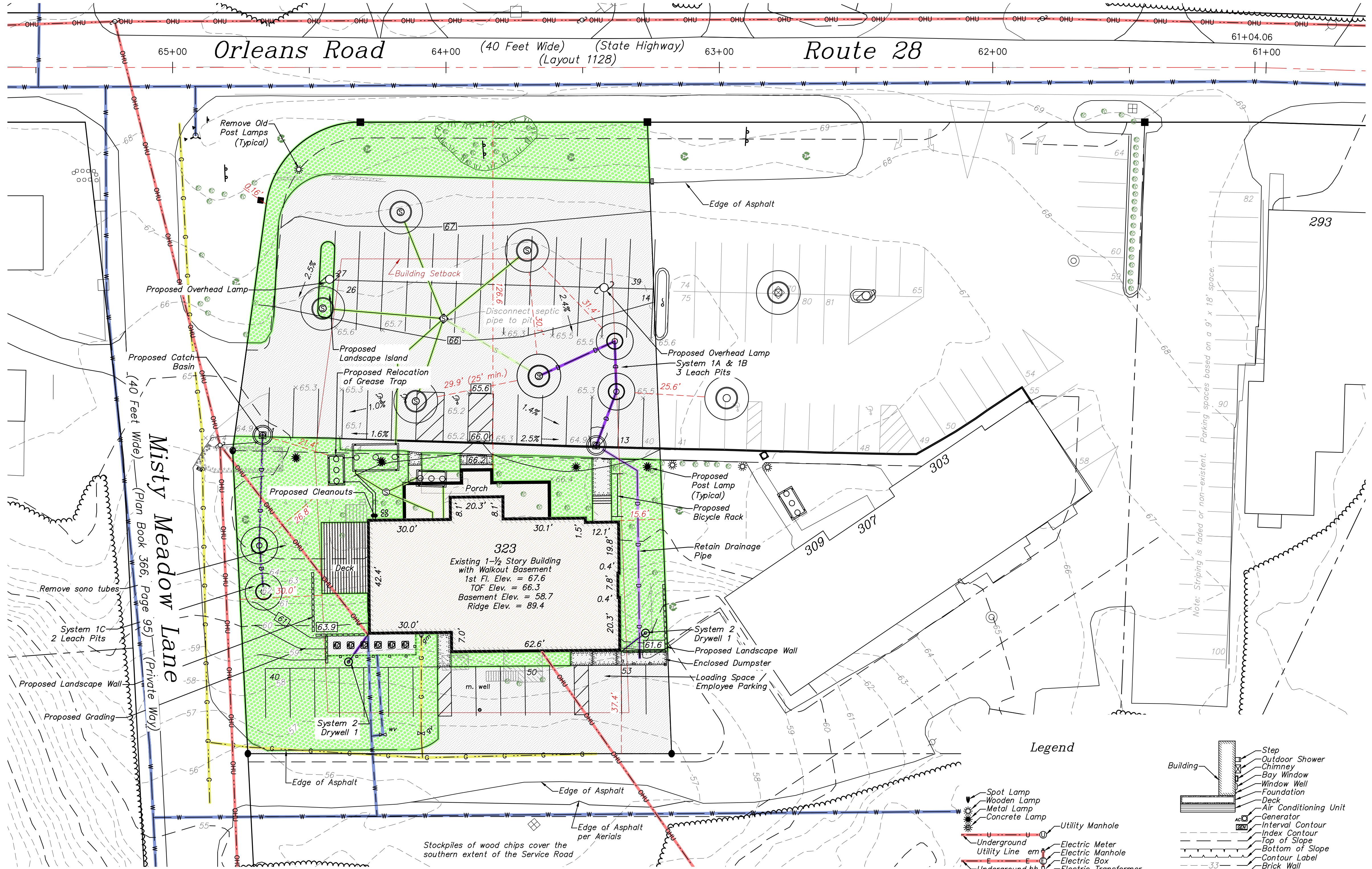
OWNER OF RECORD:

Frankel O'Keefe, LLC
 Deed Book 15,302, Page 269
 Plan Book 216, Page 105, Lot 14
 Certificate No. 165,726
 L.C. Plan 12,310-G, Lot 14

Zoning Compliance Table			
Zone	GB-3 (General Business)		
	Existing	Required	Proposed
Lot Area	34,582 S.F.±	10,000 S.F.	34,582 S.F.±
Buildable Upland	34,582 S.F.±	10,000 S.F.	34,582 S.F.±
Frontage	306.92 Ft.	100 Ft.	306.92 Ft.
Front Yard Setback (Primary)	136.5 Ft.	50 Ft.	128.0 Ft.
Front Yard Setback (Secondary)	39.5 Ft.	30 Ft.	30.0 Ft.
Side and Rear Yard Setback	15.6 Ft.	15 Ft.	15.6 Ft.
Lot Coverage	23,357 S.F.±	20,749 S.F.	23,340 S.F.±
or	67.5%	60%	67.5%
Green Area	11,225 S.F.±	13,833 S.F.	11,250 S.F.±
Front Parking Setback	10.2 Ft.	20 Ft.	10.2 Ft.
Side Parking Setback	0 Ft.	15 Ft.	0 Ft.

BUILDING HEIGHT CALCULATION			
Building	Elevation		Average
NORTH	65.8 + 65.3 + 65.2	=	196.3 / 3 = 65.4
EAST	65.2 + 58.6	=	123.8 / 2 = 61.9
SOUTH	57.4 + 56.7 + 57.8	=	171.9 / 3 = 57.3
WEST	59.5 + 66.0	=	125.5 / 2 = 62.8
TOTAL			247.4
247.4 / 4 =			GRADE PLANE 61.8
61.8 + 30 =			MAXIMUM RIDGE ELEVATION 91.8
91.8 - Top of Foundation 66.3			25.5
25.5			MAXIMUM HEIGHT ABOVE TOP OF FOUNDATION
91.8 - Ridge Elevation 89.4			2.4
			COMPLIES
EXISTING BUILDING HEIGHT			27.6

PROPOSED BUILDING HEIGHT CALCULATION			
Building	Elevation		Average
NORTH	65.8 + 65.3 + 65.2	=	196.3 / 3 = 65.4
EAST	65.2 + 61.6	=	126.8 / 2 = 63.4
SOUTH	57.4 + 56.7 + 57.8	=	171.9 / 3 = 57.3
WEST	63.9 + 66.0	=	129.9 / 2 = 65.0
TOTAL			251.1
251.1 / 4 =			GRADE PLANE 62.8
62.8 + 30 =			MAXIMUM RIDGE ELEVATION 92.8
92.8 - Top of Foundation 66.3			26.5
26.5			MAXIMUM HEIGHT ABOVE TOP OF FOUNDATION
92.8 - Ridge Elevation 92.8			0.0
			COMPLIES
PROPOSED BUILDING HEIGHT			30.0



Parking Requirements			
Dedicated Areas			
Fitness Center	4630 S.F.	1 space per 200 S.F.	24
Retail / Juice Bar	300 S.F.	1 space per 150 S.F.	2
Juice Bar Seating	8 seats	1 space per 4 seats	2
Office (35 desks)	2155 S.F.	70% capacity	21
Other (Accessory Space)	2690 S.F.	None	0
Employees	7	7 Employees	7
Total			56 spaces

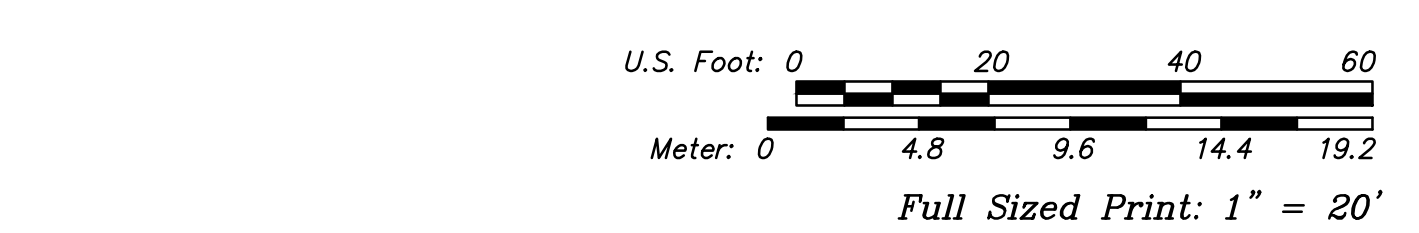
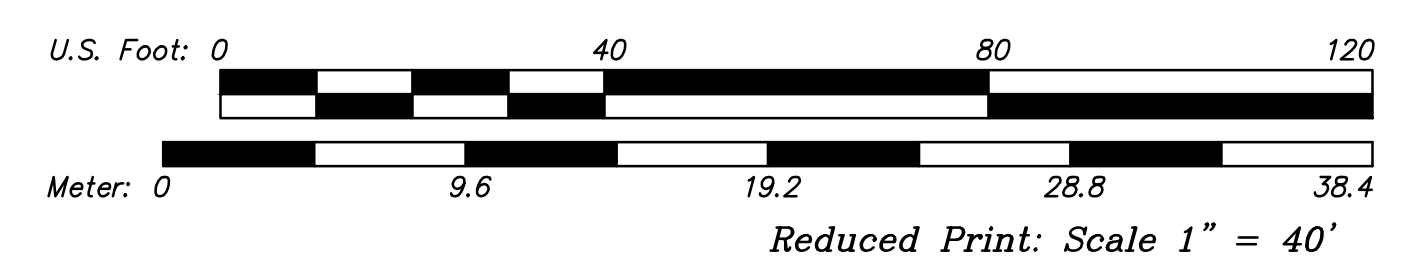
Parking Notes:
 The proposed uses in the building are primarily the Work Share (Office) space and the Fitness Center. The Retail and Juice Bar will likely be incidental to the other uses, but have been included as the numbers are minimal. The other proposed uses are wholly incidental and have been described as Accessory Space. These areas include the Child Care, Lockers, Bathrooms and Hallways.

The Fitness Center has been calculated with a low based on 1 space per 200 S.F. which is a standard from the Falmouth Bylaw, the International Health, Racquet & Sportsclub Association and the requirement used for Bodystrong in South Chatham.

The shared workspace calculation has been based 70% occupancy which is an estimate for such uses provided by WorkBar, the workspace management program.

The total parking required by these calculations is 56 spaces. 53 spaces are provided which requires a waiver for the 3 spaces deficient. The basis of the waiver is twofold: first, the peak use times for the uses are not fully coincident. Fitness Centers have more traffic before and after the workday and Offices have more traffic during the workday. The second basis is that there are parking rights that extend into the two properties to the east.

Existing Flow			
Restaurant	203 seats	35 gallons per day per seat	7,105 gallons per day
Proposed Flow			
Fitness Center	70 lockers	20 gallons per day per locker	1,400 gallons per day
Office	2,155 S.F.	75 gallons per day per 1000 S.F.	162 gallons per day
Retail / Juice Bar	385 S.F.	50 gallons per day per 1000 S.F.	20 gallons per day
Employees	8 seats	35 gallons per day per seat	280 gallons per day
Total			1,862 gallons per day



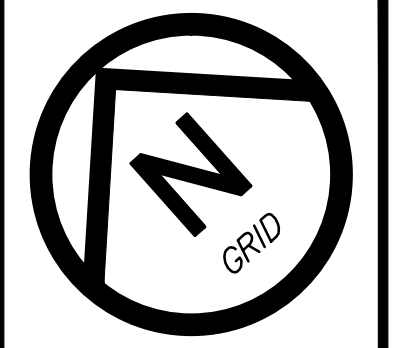
Legend

- Spot Lamp
- Wooden Lamp
- Metal Lamp
- Concrete Lamp
- Utility Manhole
- Electric Meter
- Electric Manhole
- Electric Box
- Electric Transformer
- Guy Pole
- Utility Pole
- Guy Wire
- Anchor
- Telephone Pedestal
- Telephone Manhole
- Cable Manhole
- Cable Pedestal
- Gas Meter
- Gas Manhole
- Gas Gate
- Sewer Service
- Sewer Cleanout
- Sewer Valve
- Sewer Manhole
- Sewer Main
- Septic Vent
- Septic Cleanout
- Septic Manhole
- Septic Line
- Sprinkler Head
- Irrigation Control Box
- Irrigation Line
- Monitoring Well
- Well
- Water Shut Off
- Water Meter Pit
- Water Meter
- Water Valve
- Water Main
- Catch Basin
- Drainage Manhole
- Round Catch Basin
- Drainage Line
- Step
- Outdoor Shower
- Chimney
- Bay Window
- Window Well
- Foundation
- Deck
- Air Conditioning Unit
- Generator
- Interval Contour
- Index Contour
- Top of Slope
- Bottom of Slope
- Contour Label
- Brick Wall
- Foundation
- Concrete Wall
- Stone Wall
- Stone Wall
- Edge of Brush
- Bush / Shrub
- Edge of Garden
- Edge of Landscaping
- Edge of Lawn
- Tree
- Treeline
- Chain Link Fence
- Guardrail
- Picket Fence
- Post and Rail Fence
- Stockade Fence
- Wire Fence
- Solid Fence
- Mailbox
- Concrete Ballard
- Metal Ballard
- Flag Pole
- Centerline
- Striping
- Edge of Asphalt
- Edge of Brick
- Edge of Concrete
- Asphalt Curb
- Concrete Curb
- Stone Curb
- Edge of Dirt
- Flowline
- Edge of Rock
- Edge of Shell
- Edge of Stone
- Edge of Tile
- Edge of Wood

CHATHAM PLANNING BOARD

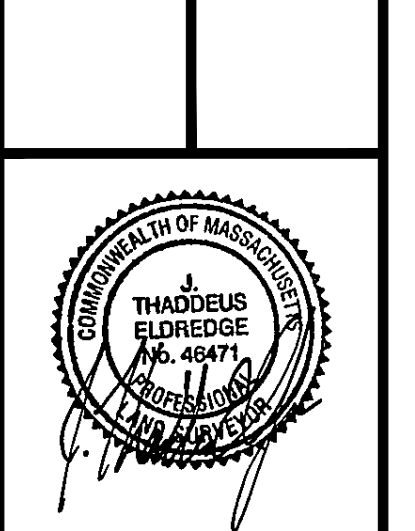
Date of Approval _____

Chairman _____

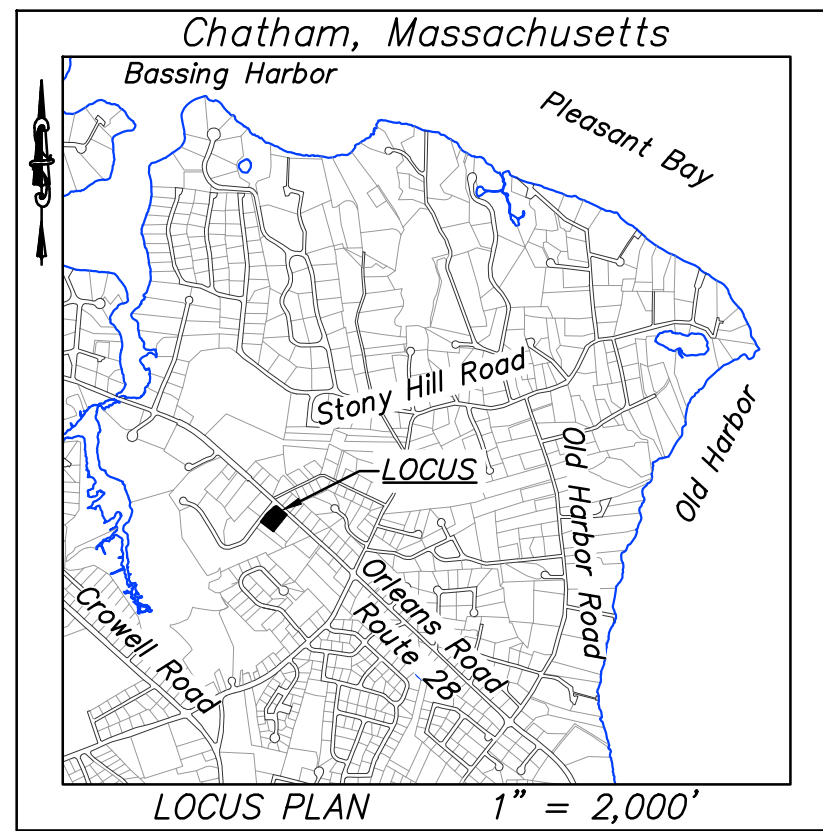


DEFINITIVE SITE PLAN
 323 Orleans Road, Chatham (North), Massachusetts
 Date _____
 Description of Revision _____
 Rev. # _____

CHATHAM WORKS, LLC
ELDRIDGE SURVEYING & ENGINEERING, LLC
 1038 Main Street, Chatham, MA; (508) 945-3965; Fax: (508) 945-5885



Date: 07-24-2017
 Scale: 1" = 20'
 Project No.: C-4693-01.0
 Sheet No.: 2 of 2



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ZONING REQUIREMENTS

Zone GB-3, General Business
 Minimum Area 10,000 S.F.
 Minimum Frontage 100 Ft.
 Front Yard Setback (Primary) 50 Ft.
 Front Yard Setback (Secondary) 30 Ft.
 Side and Rear Yard Setback 15 Ft.
 Maximum Lot Coverage 60%
 Maximum Building Coverage N/A
 Required Green Area 40%
 Front Parking Setback 20 Ft.
 Side Parking Setback 15 Ft.

The features on the subject property were located with total station, GPS (geographic positioning system) and mobile LIDAR (light detection and ranging). The features depicted from these methods meet the requirements of 250 CMR. The features on the abutting properties are based on mobile LIDAR, aerial LIDAR and aerial photogrammetry. The features depicted from these methods meet the National Map Accuracy Standards.

Parking Spaces:
 Lot 14: 37 spaces, 2 handicapped spaces
 Lot 15: 40 spaces, 2 handicapped spaces
 Lot 10: 19 spaces
 Total: 100 spaces

Proposed Parking Spaces:
 Lot 14: 50 spaces, 3 handicapped spaces
 Lot 15: 40 spaces, 2 handicapped spaces
 Lot 10: 19 spaces
 Total: 114 spaces

The striping on Lot 10 is worn and the spaces have been based on a 9' x 18' parking space. There are areas where parking is likely to the north of the Service Road but no spaces are delineated.

The utility locations are based on the following sources:
 The overhead utilities are depicted as single lines running from located pole to located pole where there are multiple lines between the poles.
 The underground natural gas is based on "Dig-Safe" markings.
 The underground water is based partially on "Dig-Safe" markings and partially on the locations provided by the Town of Chatham Water Department.

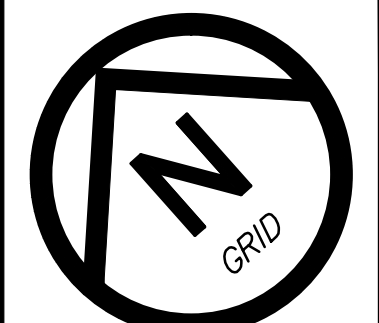
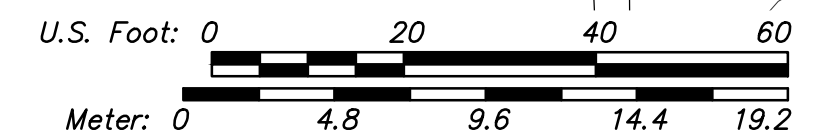
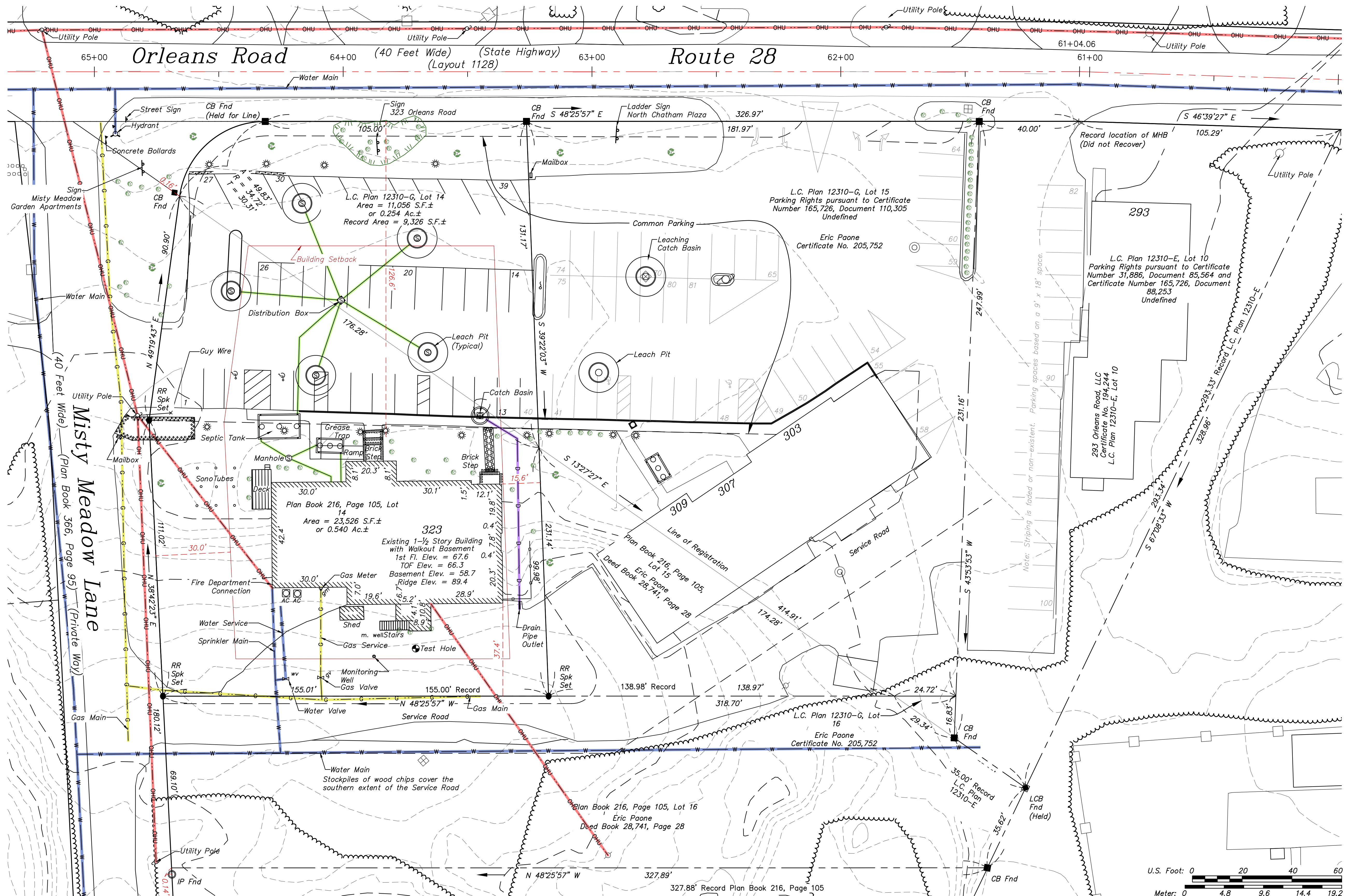
The underground septic system is based on the visible manholes and on the measurements provided in a Title 5 Official Inspection Form dated 06-13-2016 prepared by James Ford for Stuart Rapp on file with the Town of Chatham Health Department.

The underground drainage system is based on the locations of the catch basin and exposed pipe with an estimated angle in between the two.

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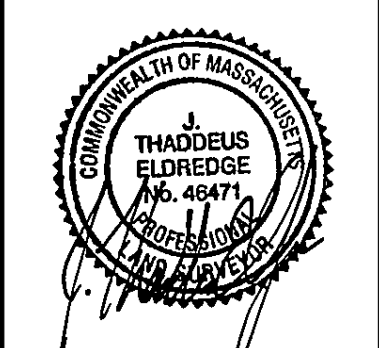
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Rev. #	Date	Description of Revision

FRED BIERWIRTH
ELDRIDGE SURVEYING, LLC
 & **ENGINEERING, LLC**
 1038 Main Street, Chatham, MA; (508) 945-3965; Fax: (508) 945-5885



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