

**NOTE:**

- 1.) The topographical information shown hereon and on the following sheets, with the exception of information located in the field, is based on FEMA Lidar data.
- 2.) Planimetric information shown hereon and on the following sheets, with the exception of the information located in the field, is based on digital aerial maps prepared by Chas. H. Sells, Inc., for the Town of Chatham.
- 3.) Horizontal Datum: NAD83
- 4.) Vertical Datum: NAVD88 Based on NGS Disc Tidal BM No. 844 7435 B located at the Chatham Fish Pier, Elev. = 12.57.

The date of photography was April, 2000.

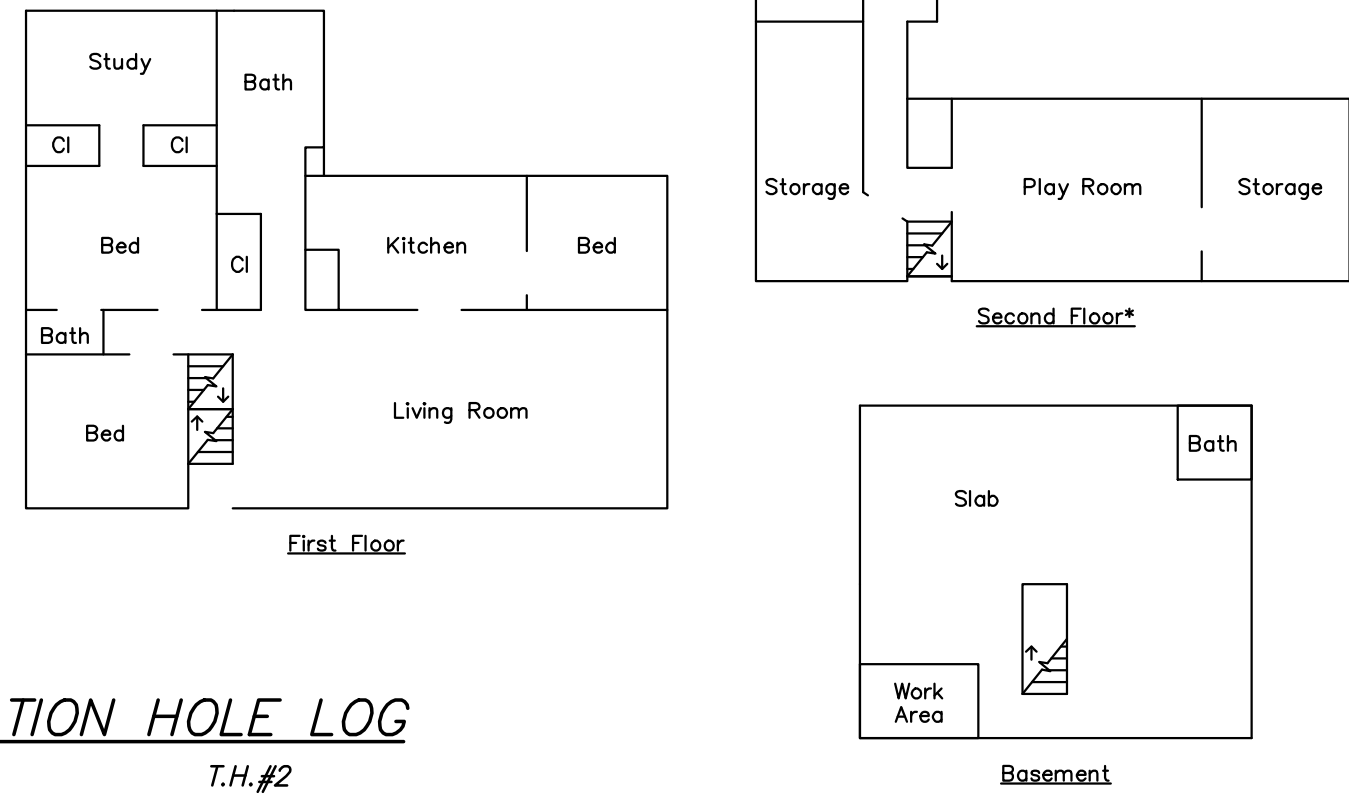
Parcel ID: 13H-10-SS39

**ZONING REQUIREMENTS:**

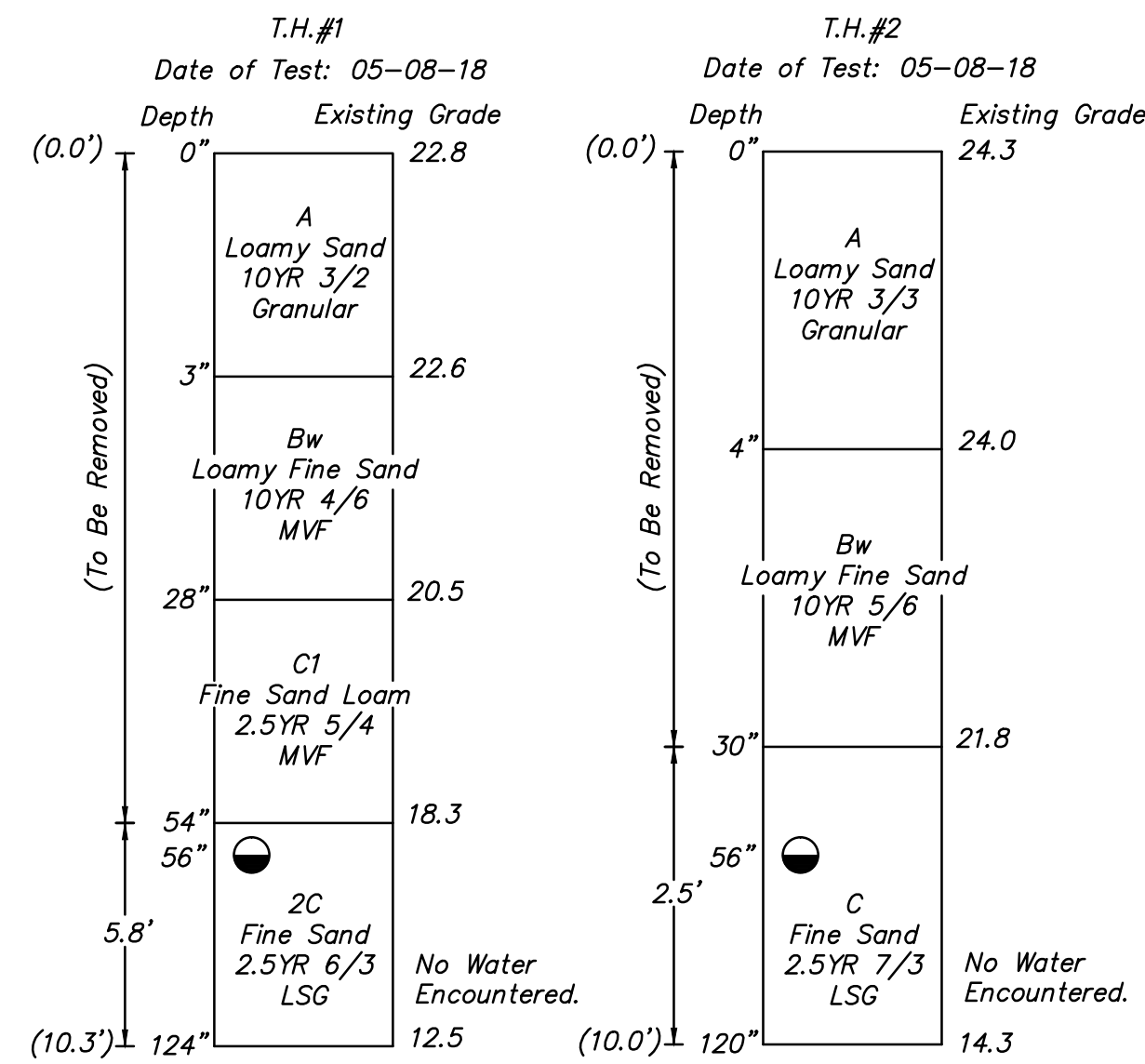
Zone	R-40, Residential
Minimum Area	40,000 S.F.
Minimum Frontage	150 Ft.
Front Yard Setback	40 Ft.
Side and Rear Yard Setback	25 Ft.
Maximum Lot Coverage	N/A
Maximum Building Coverage	10%
Required Green Area	N/A

**OWNER OF RECORD:**

Barbara S. Waters  
Deed Ref. Book 2319, Page 175  
Plan Book 93, Page 53



**DEEP OBSERVATION HOLE LOG**



**LEGEND**

- 48 Existing Contour
- 37.5 Proposed Contour
- 43.7 Existing Spot Grade
- 37.5 Proposed Spot Grade
- W Water Service
- OHU Overhead Utility Line(s)
- U Underground Utility Line(s)
- G Gas Line
- CB Find
- Utility Pole
- Catch Basin
- S.T. Septic Tank
- D.B. Distribution Box
- S.A.S. Soil Absorption System
- G.T. Grease Trap
- Fire Hydrant
- Water Valve
- Water Shut-off
- Tree or Hedge Line
- Edge of Lawn
- Edge of Garden
- Edge of Landscaping
- Deciduous Tree
- Coniferous Tree
- Building
- TH Test Hole Location
- Percolation Test Location

Zone	Existing	Required
Lot Area	20,421 S.F.±	40,000 S.F.±
Buildable Upland Area	17,412 S.F.±	20,000 S.F.±
Frontage	100.00 Ft.	150 Ft.
Front Yard Setback	50.0 Ft.	40 Ft.
Side and Rear Yard Setback	25.0 Ft.	25 Ft.
Building Coverage	7.2%	15%
Building Coverage	1,262 S.F.±	2,612 S.F.±

**SITE PLAN**

Scale 1" = 20'  
Record Lot Area = 20,421 S.F.±  
or 0.47 Ac.±  
Buildable Upland Area = 17,412 S.F.±  
or 0.40 Ac.±



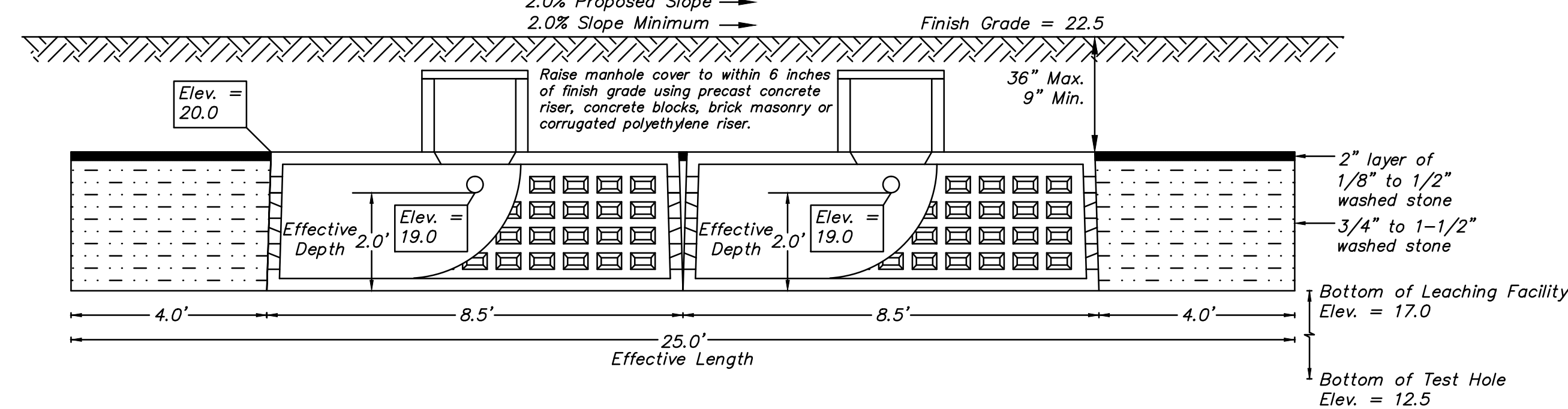
**GENERAL NOTES**

- A.) Neither driveway nor parking areas are allowed over septic system unless H-20 components are used and system is vented.
- B.) The designer will not be responsible for the system as designed unless constructed as shown. Any changes must be approved in writing by the designer.
- C.) Contractor shall be responsible for verifying the location of all underground and overhead utilities prior to the commencement of work.
- D.) A copy of this plan was submitted to the Chatham Water Department for their review, on

**CONSTRUCTION NOTES**

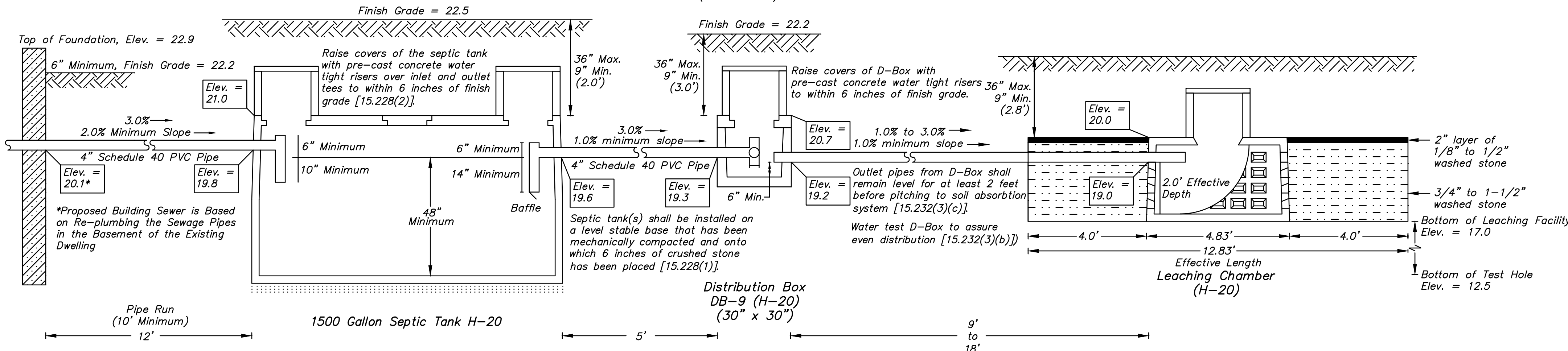
- 1.) All materials and construction shall conform to the State Environmental Code, Title 5, and the requirements of the local Board of Health.
- 2.) Topsoil, subsoil, peat, or other unsuitable or impervious material [15.255(1)] shall be removed five (5) feet laterally in all directions beyond the outer perimeter of the soil absorption system to the depth of the naturally occurring pervious material(s) and replaced with fill material meeting the specifications of 310 CMR [15.255(3)], [15.255(5)].
- 3.) Septic tank(s), grease trap(s), dosing chamber(s) and distribution box(es) shall be set on a level stable base which has been mechanically compacted. If the component is placed in fill, proper compaction is required to ensure stability and to prevent settling; native ground with a 6 inch stone base is otherwise adequate [15.221(2)].
- 4.) Base aggregate shall consist of 3/4" to 1-1/2" double washed stone free of iron, fines and dust and shall be installed from below the crown of the distribution line to the bottom of the soil absorption system [15.247(1)]. Base aggregate shall be covered with a 2" layer of 1/8" to 1/2" double washed stone free of iron, fines and dust [15.247(2)].
- 5.) From the date of installation of the soil absorption system until receipt of a Certificate of Compliance, the perimeter of the soil absorption system shall be staked and flagged to prevent the use of such area for all activities which might damage the system [15.246(2)].
- 6.) The Board of Health shall require inspection of all construction by an agent of the Board of Health and the designer and shall require such persons to certify in writing that all work has been completed in accordance with the terms of the permit and approved plans. 48 hours advance notice is requested.
- 19.) Whenever sewer lines must cross water supply lines, both both pipes shall be constructed of class 150 pressure pipe and shall be pressure tested to assure water tightness; ref: 310 CMR 15.211 (1) [1]. In addition, the Chatham Water and Sewer Departments require: "any sewer pipe installed over any water line will be incased in a ductile iron or schedule 35 P.V.C. sleeve made from one continuous length of pipe; the sleeve will start a minimum of ten (10') feet from the centerline of the water line and end a minimum of ten (10') feet away from the water line on it's opposite side; and if crossing at an angle a longer pipe will be required to meet the ten (10') foot setback."

**SECTION A-A**



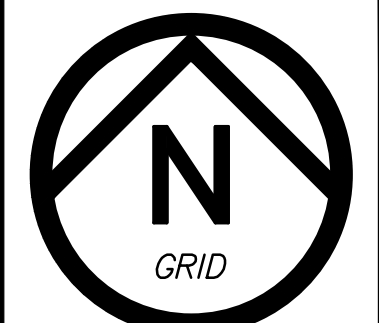
**PROFILE OF SYSTEM**

(Not to Scale)



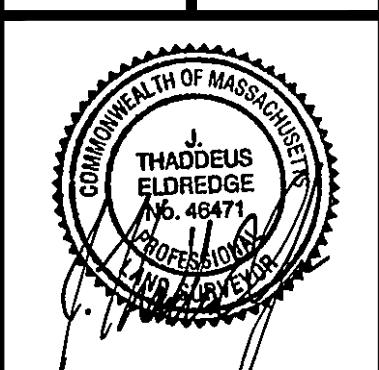
**SYSTEM DESIGN CALCULATIONS**

- 1.) Basis of Design  
Number of Bedrooms: 3  
Other: \_\_\_\_\_
  - 2.) Design Daily Flow Sewage Flow: 330 GPD
  - 3.) Septic Tank Capacity  
Required: 1,100 Gal  
Provided: 1,500 Gal
  - 4.) Soil Absorption System Capacity  
Required: 330 GPD  
Provided: 349 GPD\*
  - 5.) A garbage disposal is NOT permitted with this design
- $(25' \times (2' + 12.83' + 2') \times 0.74) + (2 \times 2' \times 12.83' \times 0.74) = 349$



**SEWAGE DISPOSAL SYSTEM PLAN**  
 64 Meadow Brook Road, North Chatham, Massachusetts  
 Date: \_\_\_\_\_  
 Rev. # \_\_\_\_\_  
 Description of Revision: \_\_\_\_\_

**BARBARA S. WATERS**  
**EAST-SOUTHEAST, LLC**  
 1038 Main Street, Chatham, MA; (508) 945-3965; Fax: (508) 945-5885



Date: 06-01-2015  
Scale: 1" = 20'  
Project No.: C-5026-01.0

