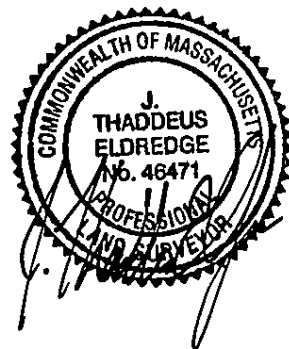


100' from Coastal Dune  
 50' from Coastal Dune  
 Extension of dune based on plan and field observation. Dune is further seaward. This location used as lot >100' from dune.  
 Coastal dune digitized from plan by Coastal Engineering Company, Inc. June 8, 2015 (revised July 6, 2017)

Note:  
 Coastal dune approximated from plan dated June 8, 2015, prepared by Coastal Engineering Company, Inc. for Cynthia Rowe Pelletier on file with the Town of Chatham Health Department, Aerial Imagery and field observation.



**Building Height Calculation**

	Lowest Adjacent Grade	Top of Foundation	Ridge	Lowest Adjacent Grade to Ridge	Top of Foundation to Ridge
15	4.2	5.9	19.0	14.8	13.1
21	4.7	5.7	18.7	14.0	13.0
Proposed	5.0	13.0	35.0	30.0	22.0*

\* 5.0 + 30.0 = 35.0 maximum building elevation - 13.0 TOF = 22.0'

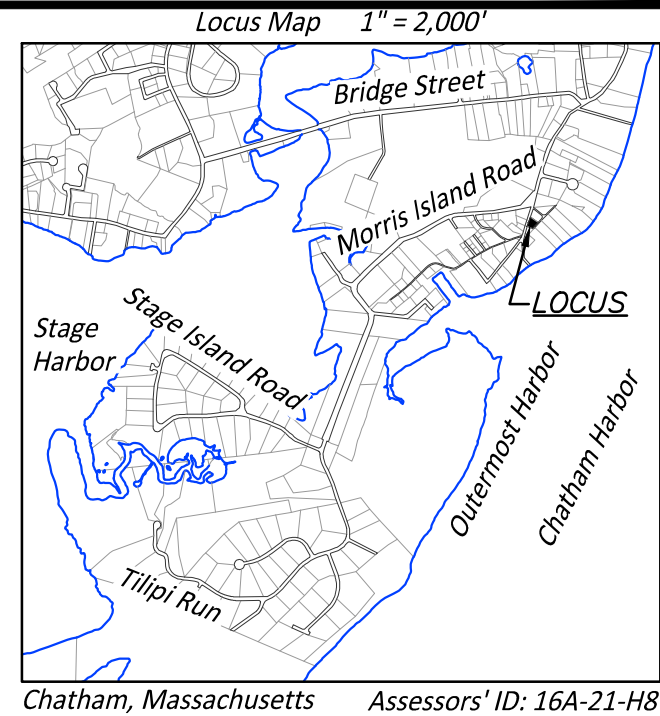
Planting List							
Species Name	Common Name	Indicator	Height	Width	Opt. Size	Spacing	Quantity
Prunus maritima	beach plum	BP	6	5	5 gallon	5' o/c	18
Substitutions are subject to review by the Conservation Agent and/or Conservation Commission.							

Zoning Compliance Table					
Zone	Existing		Required	Proposed	
	Lot	Lot with Easement		Lot	Lot with Easement
Lot Area	7,263 S.F.±	8,618 S.F.±	40,000 S.F.±	7,263 S.F.±	8,618 S.F.±
Buildable Upland Area	0 S.F.±	0 S.F.±	20,000 S.F.±	0 S.F.±	0 S.F.±
Frontage	92.85 Ft.	127.06 Ft.	150 Ft.	92.85 Ft.	127.06 Ft.
Front Yard Setback	16.5 Ft.	16.5 Ft.	40 Ft.	12.0 Ft.	12.0 Ft.
Side and Rear Yard Setback	-2.8 Ft.	-2.8 Ft.	25 Ft.	0.0 Ft.	0.0 Ft.
Conservancy District	0 Ft.±	0 Ft.±	50 Ft.	0 Ft.±	0 Ft.±
Building Coverage	18.7% *	15.8% *	15% *	24.1% *	20.4% *
Building Coverage	<b>1,361 S.F.±</b>	<b>1,361 S.F.±</b>	<b>0 S.F.±</b>	<b>1,754 S.F.±</b>	<b>1,754 S.F.±</b>

\* The property contains no buildable upland, building coverage is based on lot area

Coverage Calculations						
	Existing	%	Proposed	%	Change	%
<b>LOT</b>						
Vegetated	4,171 S.F.±	57.4%	4,359 S.F.±	60.0%	188 S.F.±	2.6%
Buildings	1,361 S.F.±	18.7%	1,754 S.F.±	24.1%	393 S.F.±	5.4%
Pervious Hardscape	1,649 S.F.±	22.7%	1,030 S.F.±	14.2%	-619 S.F.±	-8.5%
Impervious Hardscape	82 S.F.±	1.1%	120 S.F.±	1.7%	38 S.F.±	0.5%
Total Developed Area	3,092 S.F.±	42.6%	2,904 S.F.±	40.0%	-188 S.F.±	-2.6%
Total	7,263 S.F.±		7,263 S.F.±		0 S.F.±	
<b>EASEMENT</b>						
Vegetated	727 S.F.±	53.7%	608 S.F.±	44.9%	-119 S.F.±	-8.8%
Buildings	9 S.F.±	0.7%	0 S.F.±	0.0%	-9 S.F.±	-0.7%
Pervious Hardscape	613 S.F.±	45.2%	747 S.F.±	55.1%	134 S.F.±	9.9%
Impervious Hardscape	6 S.F.±	0.4%	0 S.F.±	0.0%	-6 S.F.±	-0.4%
Total Developed Area	628 S.F.±	46.3%	747 S.F.±	55.1%	119 S.F.±	8.8%
Total	1,355 S.F.±		1,355 S.F.±		0 S.F.±	
<b>LOT + EASEMENT</b>						
Vegetated	4,898 S.F.±	56.8%	4,967 S.F.±	57.6%	69 S.F.±	0.8%
Buildings	1,370 S.F.±	15.9%	1,754 S.F.±	20.4%	384 S.F.±	4.5%
Pervious Hardscape	2,262 S.F.±	26.2%	1,777 S.F.±	20.6%	-485 S.F.±	-5.6%
Impervious Hardscape	88 S.F.±	1.0%	120 S.F.±	1.4%	32 S.F.±	0.4%
Total Developed Area	3,720 S.F.±	43.2%	3,651 S.F.±	42.4%	-69 S.F.±	-0.8%
Total	8,618 S.F.±		8,618 S.F.±		0 S.F.±	

No mitigation required



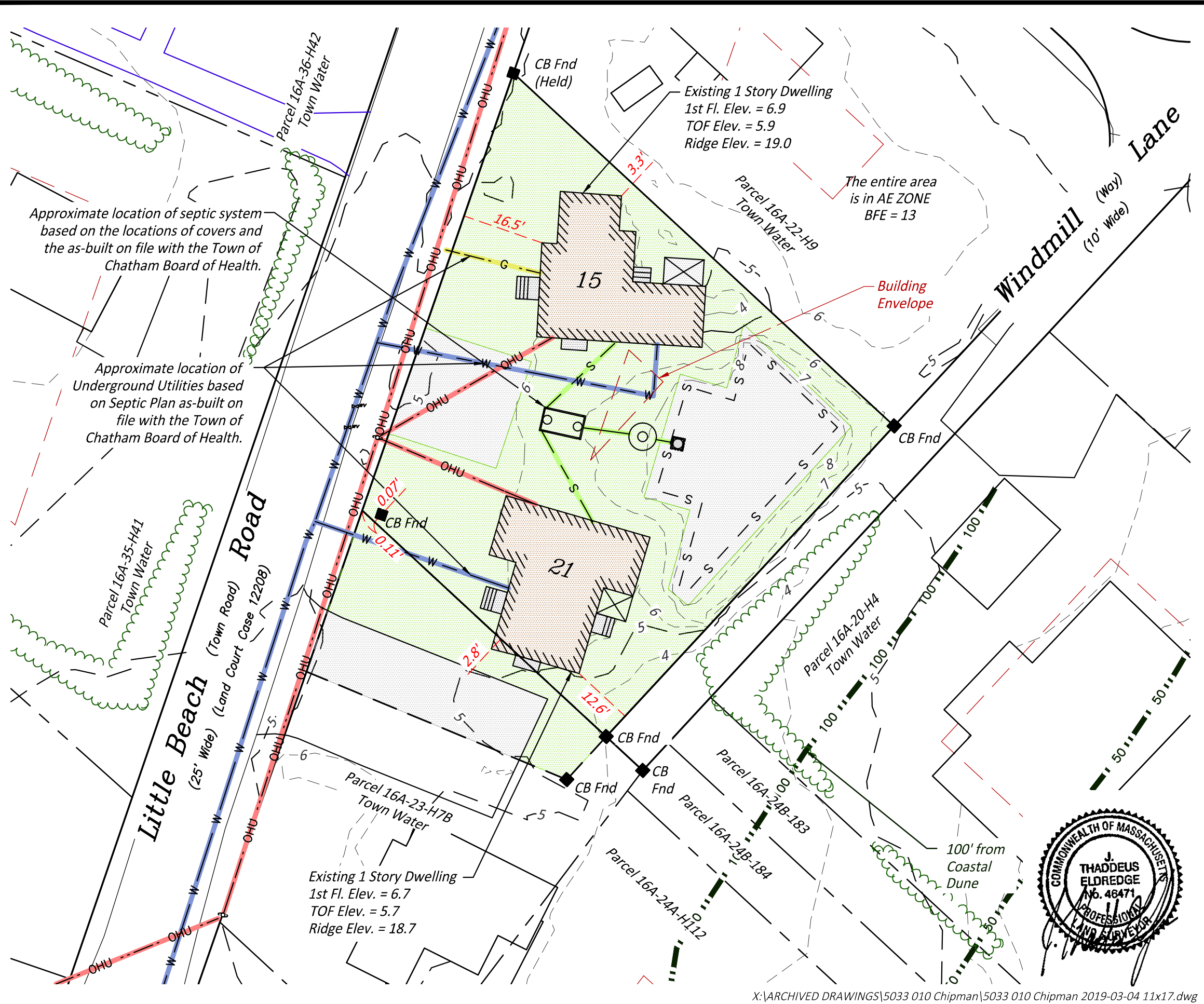
**PROPERTY REDEVELOPMENT PLAN**  
 15 & 21 Little Beach Road, Chatham, Massachusetts  
 February 5, 2019

OWNER OF RECORD:  
 Kimberly A. Chipman, Trustee of The Michaela Realty Trust  
 Certificate Number: 143,223  
 L.C. Plan: 12208-24, Lot 8

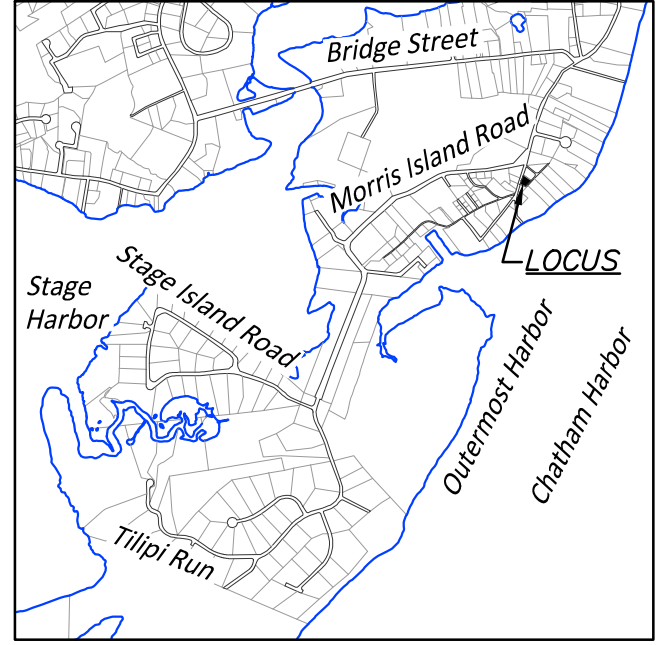
Description of Revision	Date

Prepared For  
**THE MICHAELA REALTY TRUST**  
**EAST-SOUTHEAST, LLC**  
 www.esel-llc.com ° office@ese-llc.com  
 1038 Main Street, Chatham, MA 02633  
 (508) 945-3965 ° Fax.: (508) 945-5885

Vertical Datum: NAVD '88  
 Horizontal Datum: NAD '83(2011)  
 Image from Drone Survey done May 11, 2018  
 Scale: 1" = 100' (U.S. Survey Feet)  
 C-5033-01.0 Sheet 1 of 4  
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Locus Map 1" = 2,000'



**EXISTING CONDITIONS**

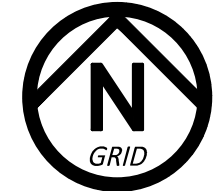
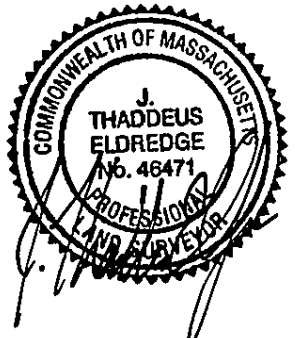
15 & 21 Little Beach Road, Chatham, Massachusetts  
February 5, 2019

**OWNER OF RECORD:**  
Kimberly A. Chipman, Trustee of The Michaela Realty Trust  
Certificate Number: 143,223  
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**THE MICHAELA REALTY TRUST**  
**EAST-SOUTHEAST, LLC**

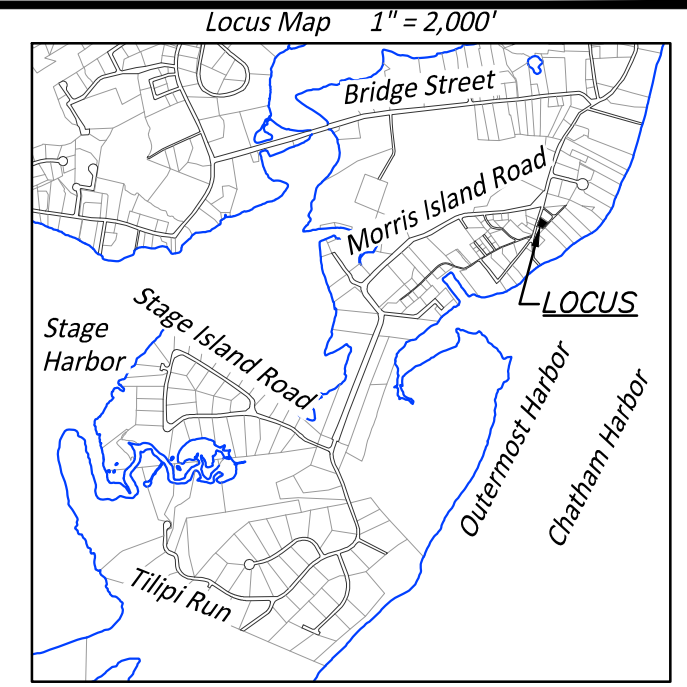
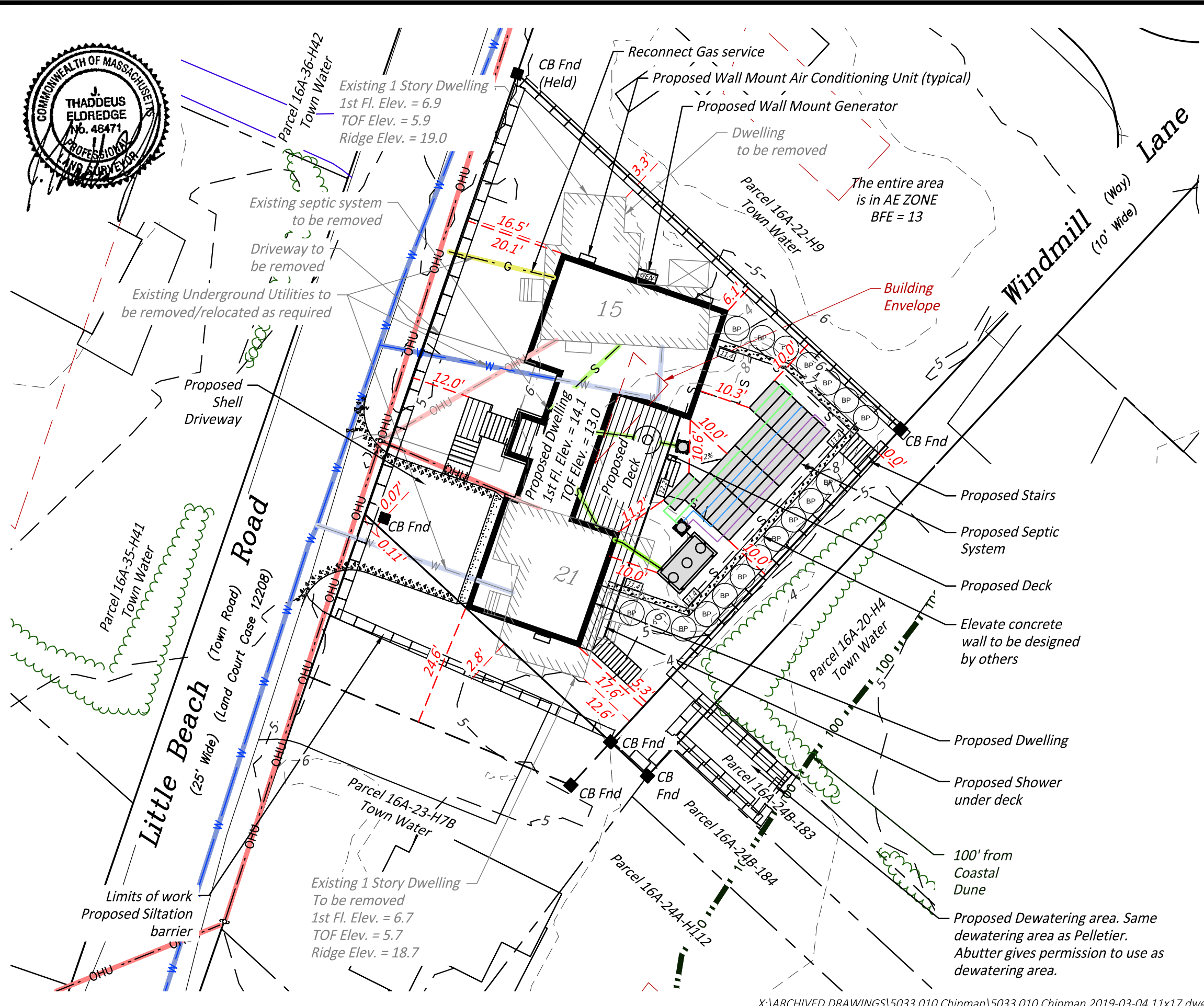
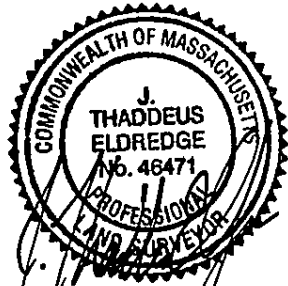
www.es-e-llc.com ° office@ese-llc.com  
1038 Main Street, Chatham, MA 02633  
(508) 945-3965 ° Fax.: (508) 945-5885



Vertical Datum: NAVD '88  
Horizontal Datum: NAD '83(2011)



Scale: 1" = 20' (U.S. Survey Feet)  
C-5033-01.0 Sheet 2 of 4  
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Chatham, Massachusetts Assessors' ID: 16A-21-H8

**SITE PLAN**

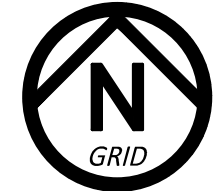
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Certificate Number: 143,223  
L.C. Plan: 12208-24, Lot 8

Description of Revision	Date

Prepared For  
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**EAST-SOUTHEAST, LLC**

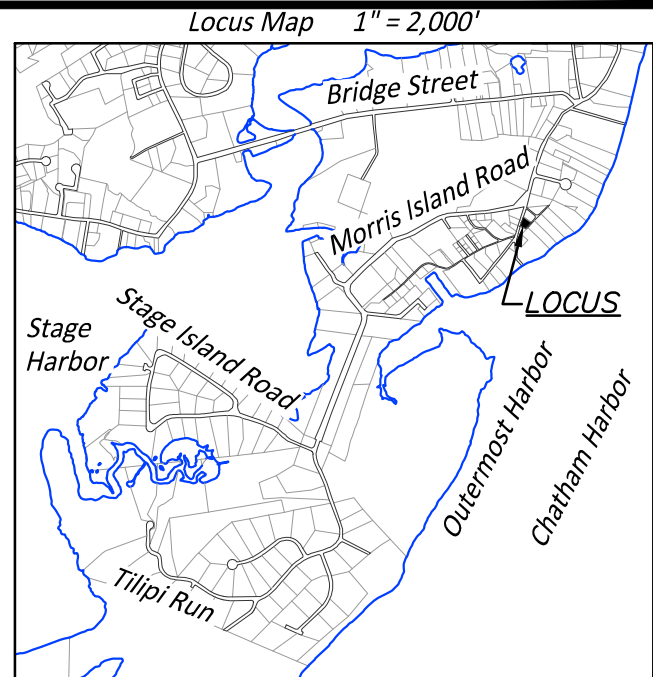
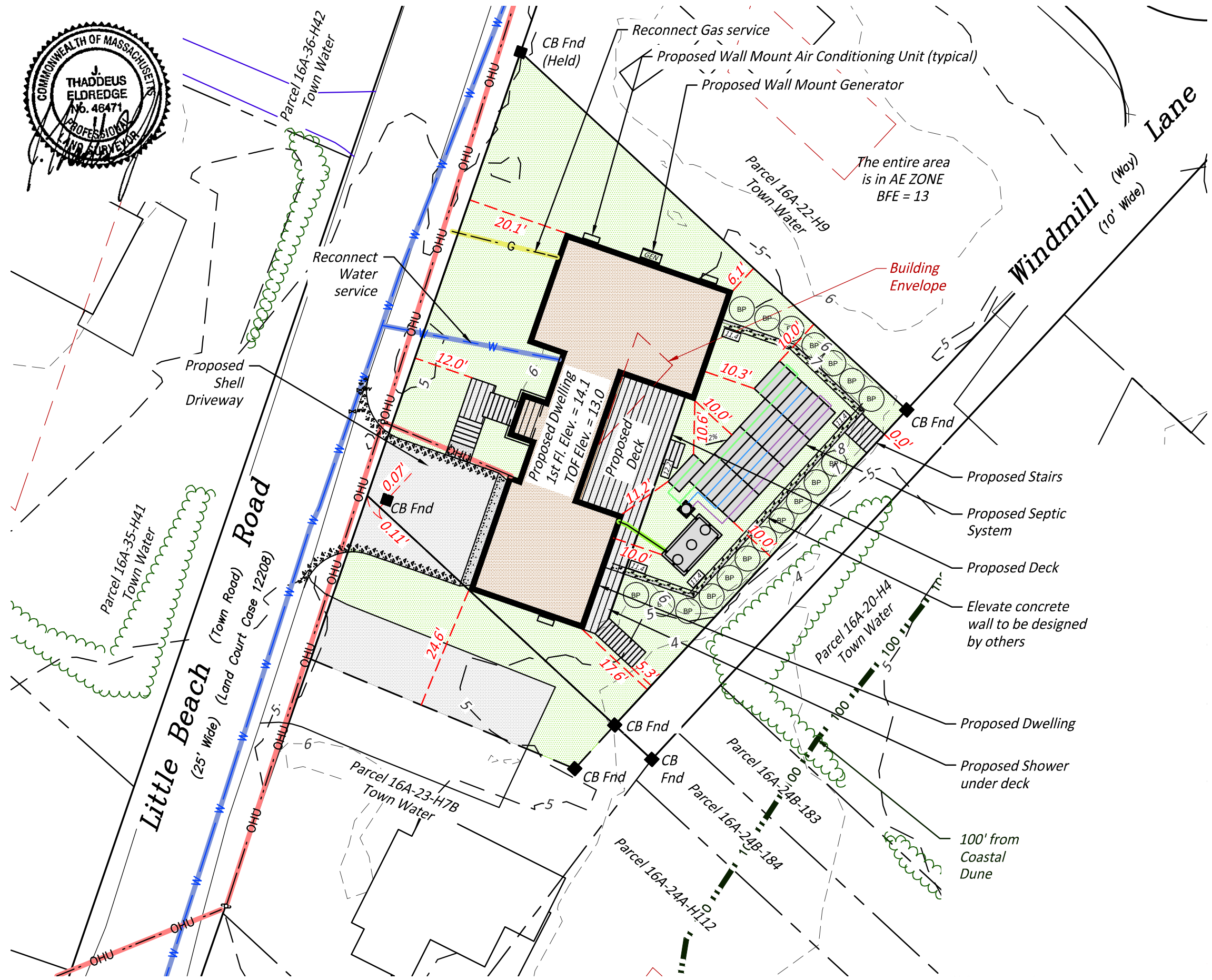
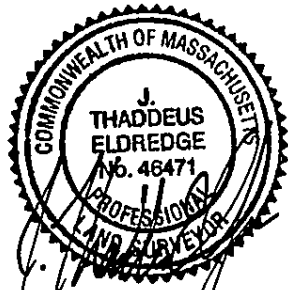
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Chatham, Massachusetts Assessors' ID: 16A-21-H8

### POST DEVELOPMENT PLAN

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February 5, 2019

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Certificate Number: 143,223  
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